



Next Generation Housing Zoning Guidelines

December 16, 2022



**WASHINGTON
COUNTY**



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Overview

Purpose

These zoning guidelines are intended for use by local governments in Washington County to enable Next Generation Housing (NGH) development. Specifically, the guidelines were developed to remove zoning barriers to the development of new housing, particularly smaller homes on smaller lots and varied housing formats, including duplexes, townhomes, and multifamily condos. These guidelines were developed to reflect best practices statewide and nationally.

The model zoning provisions included in this document are intended to be further customized to fit within a local government's existing ordinances. They include both general guidelines and model language for communities to incorporate into their ordinances. As they are oriented exclusively to housing development, the guidelines alone are not intended to serve as a full rewrite or replacement of a community's existing zoning ordinance. The guidelines are provided as a tool for local governments, and while use of the zoning provisions included in this document and furtherance of the principles behind them is strongly encouraged, no local government will be required to adopt all or part of the guidelines.

Relationship to Next Generation Housing Initiative

The primary objective of the guidelines is to remove existing zoning barriers that make it difficult to construct certain types of housing in Washington County municipalities. For example, a zoning provision that requires a minimum lot size of 10,000 square feet greatly drives up the cost to build a home. Reducing minimum lots sizes to as low as 3,000 square feet provides more flexibility for property owners to build a home at a lower price point, consistent with the objectives of the NGH initiative. Other provisions such as minimum lot widths, setbacks, and parking requirements also contribute to housing development costs. Such provisions are common in many municipal zoning ordinances throughout Wisconsin. The zoning provisions included in this document remove or modify these and other provisions that contribute to the cost of homes, while still advancing the core purpose of zoning to preserve public health, safety, and welfare.

In general, the zoning guidelines *reduce minimums* for certain dimensional requirements such as lot size, width, and setbacks. However, the guidelines generally do not incorporate maximums in most situations (such as maximum lot size, maximum setback, maximum building size, etc.). This less-prescriptive approach allows property owners to develop creative, market-based solutions within the zoning requirements. In some cases, the model guidelines allow *more development freedom* than current local regulations provide. Additionally, this approach allows for a variety of housing types, not strictly Next Generation Housing units. This practical and functional approach is intended to increase the likelihood that local governments will use and apply the model zoning provisions.

Further, not all housing formats enabled by the model guidelines will align with those that are eligible to be funded through the Next Generation Housing initiative. For example, the model guidelines do not address whether the home is rented or owned, but units must be owner-occupied in order to participate in the Next Generation Housing initiative. The qualifiers for participation in the Next Generation Housing initiative are as follows:

- Development works to accomplish the goals of 1,000 new owner-occupied housing units that are priced 75% under \$300,000 and 25% under \$400,000, including home and lot/site.
- The development aligns with the Next Generation Housing Vision of navigating housing opportunities, providing attainable housing options and building a diverse housing population.
- The development will help overcome the barriers to home ownership for the next generation.
- The development will satisfy the basic need of obtaining quality homes within 30% of household income.
- The development will make a positive impact in Washington County with a wide range of benefits related to Economic Growth & Vitality and Safe & Secure Community Goals by creating and establishing housing developments that will allow for the workforce to grow roots and establish strong relationships within the community.
- The development site is identified on the Next Generation Housing Inventory.
- The site owner is ready/agreeable to the Next Generation Housing development.
- The site is within the Sewer Service Area. (Germantown: within the Planned Sewer Service Area)
- The development substantially complies with the Framework for Next Generation Housing and is consistent with the development type.
- The Coalition Partner has the tools, time, and resources to make the development a priority.

Differences between the NGH Initiative and the Model Zoning Guidelines

The model zoning guidelines are a tool to support the NGH Initiative. They will work in collaboration with other tools to create Next Generation Housing such as the down payment assistance program, outreach to the development community, and direct investment by Washington County.

It is important to note that while the model guidelines enable the construction of smaller homes, they do not address housing price points directly. Additionally, while the model guidelines enable the construction of smaller homes, they do not require it. A property owner could still build a larger, more expensive home within one of the model zoning districts, if they chose to.

A core objective of the NGH initiative is to promote the development of owner-occupied housing. Homes developed through the NGH initiative will be limited to owner occupancy. However, the courts have established that municipalities cannot use zoning to discriminate against renters and prohibit the rental of housing units. For this reason, there are no provisions in the model guidelines requiring owner occupancy of the principal dwelling units. However, Washington County is free to apply owner occupancy rules within the framework of the NGH initiative, which is an opt-in program.

Furthermore, use of the model ordinance is not dependent on participation in the NGH initiative. For example:

- A property owner could build a smaller home at a lower price point within one of the new zoning districts, independent of the NGH initiative.
- A property owner could build a smaller home that costs more than the target NGH price points.
- A property owner could build a home that is for rent, which would not be eligible for the NGH initiative.
- As stated above, a property owner could build a larger, more expensive home, independent of the NGH initiative.

Contents of the Model Guidelines

The model guidelines include the following components:

Section 1: Common Zoning Ordinance Barriers: This section is intended to identify the issues and barriers that are found in many zoning ordinances that limit the development of various housing options. This serves as the framework for the solutions offered throughout the guidelines. This section does not include all barriers or issues that may be present in existing municipal zoning ordinances; however, it identifies those the most common barriers typical of older, more suburban-oriented zoning ordinances.

Section 2: New Housing Zoning Districts: This section includes seven residential zoning districts, which are designed to enable residential development formats at various densities. These are generally oriented to new neighborhoods in “greenfield” areas but could be used for infill and redevelopment purposes as well. They include:

- Model District A: Small Lot Alley-Loaded Single Family Zoning District
- Model District B: Small Lot Front or Alley-Loaded Single Family and Two-Flat Zoning District
- Model District C: Front-Loaded Duplex/Twin Home Zoning District
- Model District D: Alley-Loaded Duplex/Twin Home Zoning District
- Model District E: Alley-Loaded Townhome Zoning District
- Model District F: Multi-Family Zoning District (up to 12 units)
- Model District G: Multi-Family Zoning District (up to 50 units)

Section 3: Incorporating Residential into Developed Areas: This section is oriented to infill or redevelopment sites that may be suitable for new housing. As every community’s current zoning districts will differ greatly, the recommended approach for enabling residential into already-developed parts of the community is for the local government to conduct a review of existing districts and incorporate mixed use buildings and standalone residential as permitted land uses into existing zoning districts. This approach can then be applied to single sites or clusters of infill and redevelopment sites, provided it is consistent with surrounding development, good planning practices, and the community’s Comprehensive Plan.

Section 4: Residential Parking Requirements: This section provides suggested reductions to residential parking requirements to keep development costs down.

Section 5: Accessory Dwelling Units: This section provides model language to enable accessory dwelling unit construction, which can add housing units within both new and established neighborhoods.

Section 6: Guidelines for Residential Design Standards: This section ensures high-quality and long-lasting residential building design that is enabled by the model zoning district.

Section 7: Definitions: This section provides definitions for the terms used in the previous sections.

How Local Governments Should Use the Model Ordinance: A Recommended Process

The following is a recommend process for utilizing the model provisions:

1. Consult directly with Washington County staff to discuss participation in the Next Generation Housing Initiative.
2. Review the community’s existing zoning ordinance to understand which zoning regulations and subdivision regulations prohibit or discourage the development of new housing development –

particularly smaller homes on smaller lots, duplexes, townhomes, and multifamily condos. Refer to Section 1 of the model ordinance for initial guidance. Review subdivision and other ordinances related to development that impact housing costs.

3. Determine which portions of the model ordinance best address these gaps and barriers.
4. As needed, modify the model zoning provisions to integrate them into the existing zoning ordinance. Review for compatibility and functionality. Avoid creating conflicting regulations between the new provisions and the existing zoning ordinance.
5. Review the Comprehensive Plan to ensure zoning ordinance changes are generally consistent with the Plan. If needed, make amendments to the Comprehensive Plan, per Wis. Stat. 66.1001(4).
6. Adopt new zoning ordinance text amendments per state and local procedures.
7. Proactively amend the zoning map in locations identified for NGH or for new housing development in general, or review and approve zoning map amendments upon request of property owners.

Note: any ordinance changes pursued by any local government must be consistent with its adopted Comprehensive Plan (Wisconsin State Statutes 66.1001) and must, at a minimum, follow the procedures for zoning ordinance amendments (Wisconsin State Statutes 62.23(7)(d)).

Section 1: Common Zoning Ordinance Barriers

Introduction

The Next Generation Housing initiative aims to provide opportunities within Washington County for diverse housing formats. The first step is to conduct a zoning ordinance evaluation to identify barriers and issues that contribute to higher housing costs, which are often commonly found in many zoning ordinances. Efforts to adapt existing zoning ordinances to accomplish the goals of the Next Generation Housing initiative should be twofold: 1) to understand the regulatory mechanisms in place today that limit or restrict new housing, and 2) to modify zoning ordinances to enable new housing using the models provided in the following sections of this document.

List of Common Zoning Ordinance Barriers

Barrier Type	Issue It Presents
Bulk Requirements	
Requirements for front-loaded garages	Doesn't allow for rear, alley-loaded development
Minimum garage sizes	Only allows 2+ car garages, which aren't always desired or needed
Minimum dwelling unit sizes	Requires development of larger homes; does not allow for smaller house formats
Minimum lot size	Large lot size minimums increase housing costs by requiring more land per housing unit
Minimum lot width	Large minimum lot widths increase housing costs by requiring more land per housing unit
Minimum front, rear, and side setbacks	Large setbacks increase housing costs by requiring more land per housing unit
Maximum Floor Area Ratios (FAR)	Reduces the developable potential of the lot by limiting the size of the home based on the lot size without consideration for other factors such as setbacks, architectural design, or site layout; more cumbersome to calculate and administer
Maximum Building Coverage Ratios (BCR)	Reduces the developable potential of the lot by limiting the size of the home based on the lot size without consideration for other factors such as setbacks, architectural design, or site layout; more cumbersome to calculate and administer; the model zoning districts instead utilize an Impervious Surface Ratio (ISR), which more flexible.
Maximum Density Requirements	Density standards are difficult to calculate and administer, are easily politicized, and unreasonably restrict housing development. Setbacks and height requirements create more predictable outcomes than density standards.
Land Uses	
Missing land use: mixed use	Doesn't allow for mixed use buildings (commercial and residential) outside of downtown
Missing land use: accessory dwelling units	Doesn't allow accessory dwelling units, which can provide infill housing options
Missing land use: housing unit types	Doesn't facilitate diverse housing unit types (two-flat, twin home, townhouse, etc.); single family and multi-family become the only housing options available

Parking	
Significant minimum parking requirements	Requires more on-site parking than is needed, which drives up development costs for construction and land needed
Missing maximum parking requirements	Doesn't limit on-site parking, which drives up development costs for construction and land needed
Design Standards	
Missing residential design standards	Doesn't ensure high-quality and long-lasting residential development
Restrictive residential design standards, e.g., requirements for stone or brick on building façades	Adds significant cost to homes unnecessarily; exclusionary policy
Zoning Districts	
One type of single family zoning district	Only enables development of medium or large lot development types/formats
One type of two family zoning district	Only enables development of suburban duplex development
Missing two family zoning districts	Doesn't allow for zero lot line development (twin homes) or upper/lower unit development (two-flats)
One type of multi-family zoning district	Only enables development of medium or large developments
Missing multi-family zoning districts	Doesn't allow for small multi-family developments (townhomes, 3-unit buildings, etc.)
Commercial zoning districts oriented to single land use	Doesn't facilitate mixed use buildings (commercial and residential)
Definitions	
Outdated definition of "family"	Doesn't accommodate modern family types
Outdated or missing definitions of housing unit types	Doesn't define diverse housing unit types (two-flat, twin home, townhouse, etc.)
Outdated or missing bulk dimension definitions	Doesn't promote user-friendliness or consistent administration of standards

Beyond zoning ordinances, other municipal regulations shape housing and infrastructure, which may have cost impacts. For example, Subdivision Ordinances include design requirements related to sidewalks, curb and gutter, road widths, and more. For more information on these components of housing costs, refer to Washington County's "Next Generation Housing Cost Reductions Strategies Report."

For further reading on the relationship between zoning and housing, please refer to the zoning reform guide titled "Enabling Better Places: A User's Guide to Wisconsin Neighborhood Affordability." This guide was developed by the Congress for the New Urbanism (CNU) in partnership with DPZ CoDESIGN and PlaceMakers, LLC, with funding and input from the League of Wisconsin Municipalities, the

Wisconsin Builders' Association, AARP Wisconsin, NAIOP-Wisconsin the Commercial Real Estate Development Association, the Wisconsin REALTORS® Association, WHEDA, state and local planning officials, and housing advocates.

Section 2: Guidelines for Residential Zoning Districts

Introduction

Each of the seven model zoning districts listed below aim to provide flexibility and remove barriers in the development of new diverse housing opportunities. At the end of the section, a summary list of potential land uses by each model zoning district is provided for reference and inclusion in any future zoning amendments a community may choose to make.

To participate in the Next Generation Housing initiative, all units must be owner-occupied. The guidelines for model zoning districts enable both rental and owner-occupied housing occupancy types because zoning ordinances cannot and should not restrict occupancy types, per the Federal Fair Housing Act.

These zoning districts are designed to be applied in different locations within a single neighborhood, rather than utilizing one district for an entire neighborhood. For example, a given neighborhood that includes a mix of single family, two family, and multi-family housing types would apply a pattern of different zoning districts to enable each housing type. Although it is ultimately up to the local governments on how to use the districts, an ideal outcome would be a neighborhood that contains a mix of housing types and zoning districts. Careful neighborhood planning and design is paramount, as is being done in the NGH Pilot Projects.

Some may consider this approach to be “spot zoning,” or when zoning is amended on a relatively small area for uses significantly different than those allowed in the surrounding area to favor the owner of a particular piece of property. However, spot zoning is not illegal or undesirable, provided that it advances established community goals and objectives, is consistent with the adopted Comprehensive Plan, and is based upon broader considerations which affect the whole community. Thus, spot zoning can be utilized when it is in the public interest and not solely for the benefit of the property owner requesting the rezoning. (*Source: League of Wisconsin Municipalities, Zoning FAQ, Brian Ohm, Guide to Community Planning in Wisconsin, Case Law Reference Bubolz v. Dane County, 1990*)

These model districts are intended to be used as a starting point for updating a community’s zoning ordinance and should be further customized to fit within a local government’s existing ordinances. The districts will need to be reviewed and modified for compatibility and internal consistency with the rest of the community’s existing zoning ordinance. These districts are intended to be added to an existing zoning ordinance and are not intended to replace existing zoning districts applied to established neighborhoods.

The model districts may be use as guidelines for residential development within planned unit developments. The planned unit development approach may be preferred to enable flexibility and a higher degree of neighborhood design. Zoning is just one component of neighborhood design, and these guidelines do not include design and operational specifics typically addressed through condominium documents or development agreements.

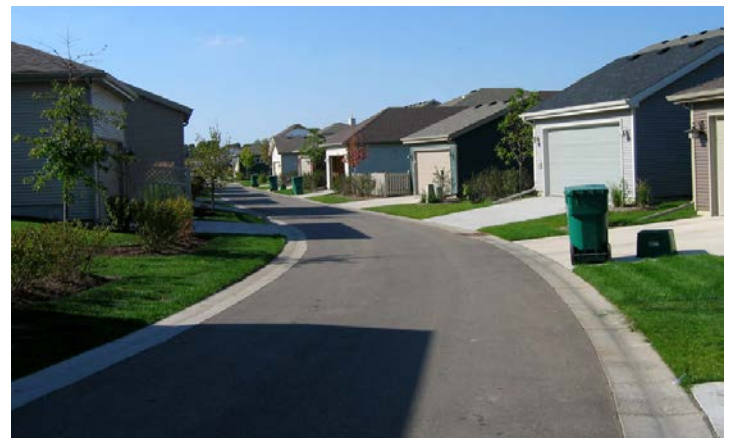
District A: Small Lot Alley-Loaded Single Family Zoning District

Purpose Statement: This district is intended to create, preserve, and enhance areas for single family detached dwellings up to approximate gross densities of 8 dwelling units per acre. This district is designed for alley-loaded homes.

Density, Intensity, and Bulk Regulations:

	Principal Buildings:	Requirement
A1xA2	Minimum Lot Area	3,000 square feet
	Maximum Impervious Surface Ratio	70 percent
A1	Minimum Lot Width	30 feet
A2	Minimum Lot Depth	100 feet
B	Minimum Lot Frontage at Right-of-Way	30 feet
C	Front Setback	Minimum: 15 feet Maximum: 20 feet
E	Minimum Porch Setback (front and street side yard)	6 feet
F	Minimum Street Side Setback (on corner lots)	15 feet
G	Minimum Side Setback	5 feet
H	Minimum Rear Setback*	2-4 feet*
	Maximum Principal Building Height	35 feet
J	Minimum Pavement Setback (lot line to pavement, excludes driveway entrances)	2 feet on side and rear yards 10 feet from any street right-of-way
N	Minimum Garage Door Setback to Rear Lot Line	2 feet
	Minimum Dwelling Unit Structure Area	Per the Building Code
	Accessory Buildings:	Requirement
K	Minimum Front Setback	Even with or behind the principal structure
L	Minimum Side Setback	2 feet
M	Minimum Side Setback (on corner)	Even with or behind the principal structure
N	Minimum Rear Setback	2 feet
	Maximum Height	22 feet

**Note: All lots in this Zoning District must be designed to be alley-loaded with attached garages. Attached garages are encouraged to be close to the alley to avoid parking of vehicles in alley drive.*



District B: Small Lot Front or Alley-Loaded Single Family and Two-Flat Zoning District

Purpose Statement: This district is intended to create, preserve, and enhance areas for single family detached or two-flat dwellings up to approximate gross densities of 8 dwelling units per acre. This district is designed for either alley-loaded or front-loaded homes.

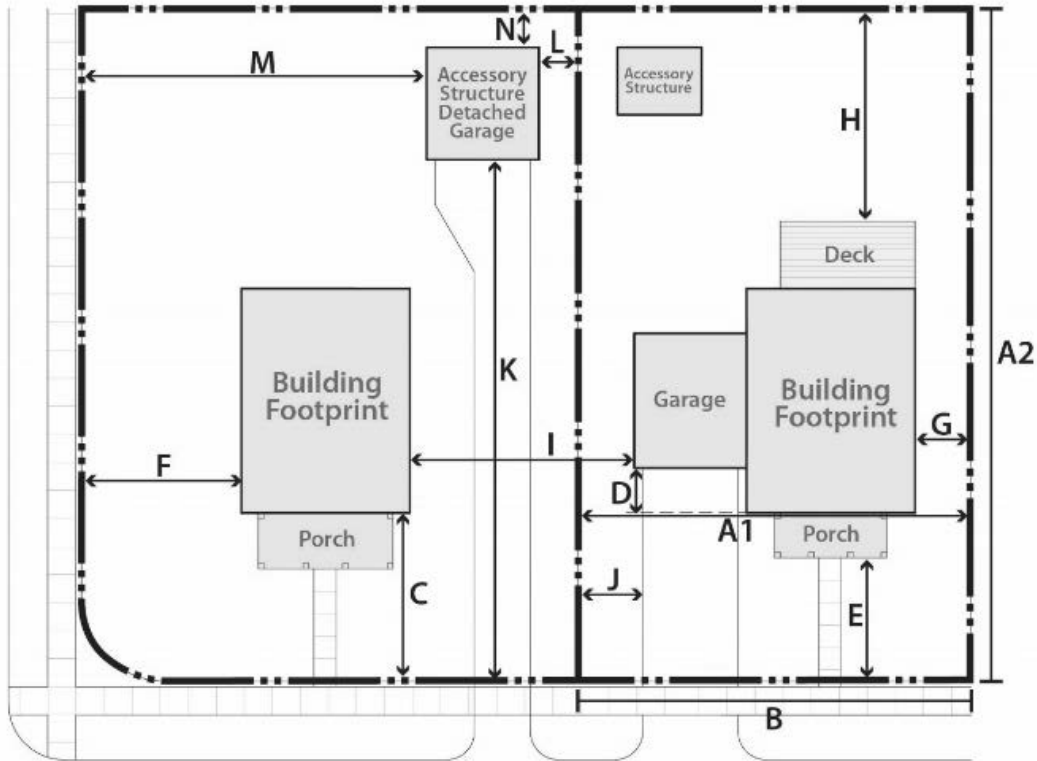
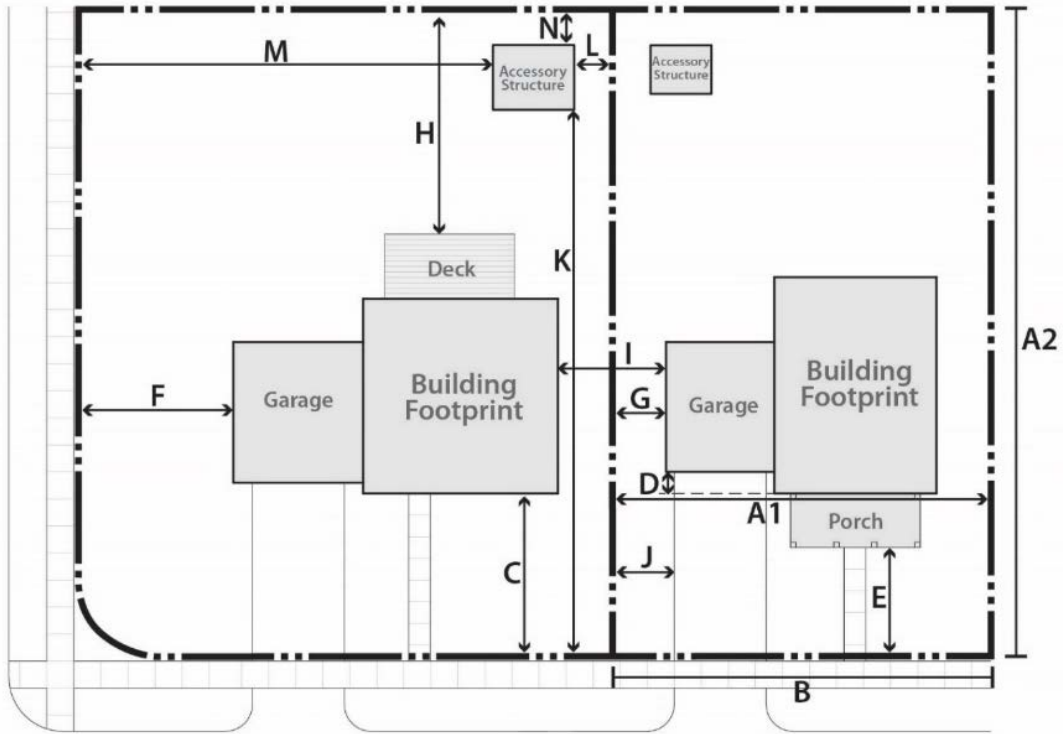
Density, Intensity, and Bulk Regulations:

	Principal Buildings:	Requirement
A1xA2	Minimum Lot Area	5,000 square feet
	Maximum Impervious Surface Ratio	60 percent
A1	Minimum Lot Width	50 feet
A2	Minimum Lot Depth	100 feet
B	Minimum Lot Frontage at Right-of-Way	30 feet
C	Front Setback	Minimum: 20 feet Maximum: 25 feet
D	Minimum Front-Loaded Attached Garage Setback	2 feet behind the plane of the principal structure
E	Minimum Porch Setback (on front and street side yard)	6 feet
F	Minimum Street Side Setback (on corner lots)	10 feet
G	Minimum Side Setback	5 feet
H	Minimum Rear Setback	15-20 feet*
	Maximum Principal Building Height	35 feet
J	Minimum Pavement Setback (lot line to pavement, excludes driveway entrances)	2 feet on side and rear yards 10 feet from any street right-of-way
	Minimum Dwelling Unit Structure Area	Per the Building Code
	Accessory Buildings:	Requirement
K	Minimum Front Setback	Even with or behind the principal structure
L	Minimum Side Setback	2 feet
M	Minimum Side Setback (on corner)	Even with or behind the principal structure
N	Minimum Rear Setback	3 feet
	Maximum Height	22 feet

**Note: This district is designed to allow alleys in the rear of the lot. Minimum alley dimensions are included in the minimum rear setback dimension.*



District B Setback Diagram (not to scale)



District C: Front-Loaded Duplex/Twin Home Zoning District

Purpose Statement: This district is intended to create, preserve, and enhance areas for single family detached and two family attached dwellings up to approximate gross densities of 8 dwelling units per acre.

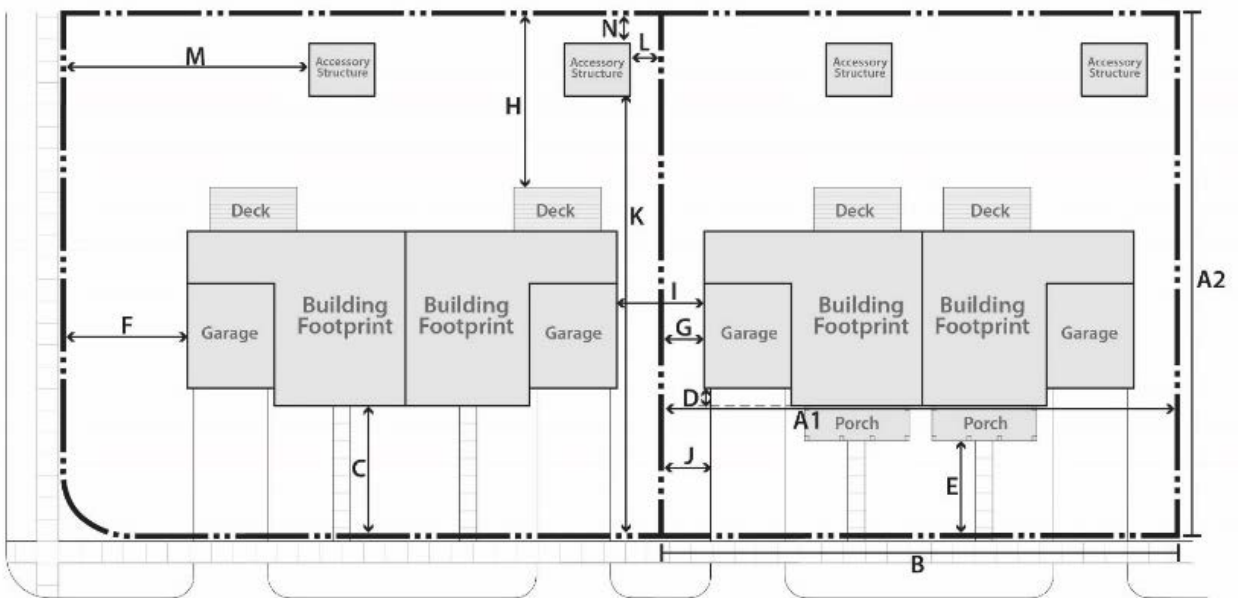
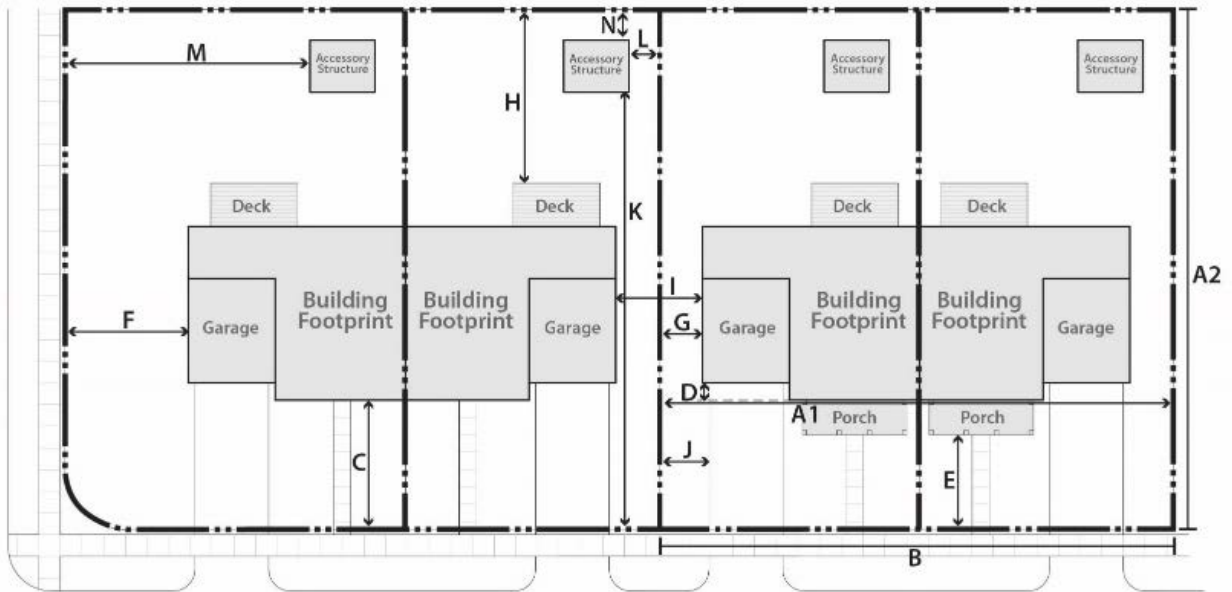
Density, Intensity, and Bulk Regulations:

	Principal Buildings:	Requirement
A1xA2	Minimum Lot Area	10,000 or 5,000 square feet*
	Maximum Impervious Surface Ratio	60 percent
A1	Minimum Lot Width	80 or 40 feet*
A2	Minimum Lot Depth	100 feet
B	Minimum Lot Frontage at Right-of-Way	30 feet
C	Minimum Front Setback	20 feet
D	Minimum Front-Loaded Attached Garage Setback**	2 feet behind the plane of the principal structure**
E	Minimum Porch Setback (front and street side yard)	6 feet
F	Minimum Street Side Setback (on corner lots)	20 feet
G	Minimum Side Setback	5 or 0 feet for shared wall*
H	Minimum Rear Setback	25 feet
	Maximum Principal Building Height	35 feet
J	Minimum Pavement Setback (lot line to pavement, excludes driveway entrances)	5 feet on side and rear yards 10 feet from any street right-of-way
	Minimum Dwelling Unit Structure Area	Per the Building Code
	Accessory Buildings:	Requirement
K	Minimum Front Setback	Even with or behind the principal structure
L	Minimum Side Setback	2 feet
M	Minimum Side Setback (on corner)	Even with or behind the principal structure
N	Minimum Rear Setback	2 feet
	Maximum Height	22 feet
<p><i>*When two attached units are located on a single parcel, the minimum lot size is 10,000 sq. ft. and the minimum lot width is 80 feet. When two attached units are located on individual parcels, the minimum lot size is 5,000 sq. ft., the minimum lot width is 40 feet, and the side setback for the shared wall is 0 feet.</i></p> <p><i>**Front-loaded, attached garages shall comprise no more than 50 percent of the width of the ground floor building façade facing the street.</i></p>		

Note: Platting and rezoning of zero-lot line housing is typically done in conjunction with a planned unit development and development agreement.



District C Setback Diagram (not to scale)



District D: Alley-Loaded Duplex/Twin Home Zoning District

Purpose Statement: This district intended to create, preserve, and enhance areas for two family attached dwellings uses in small buildings oriented to the street, at approximate gross densities up to 12 dwelling units per acre. This district is designed for alley-loaded homes.

Density, Intensity, and Bulk Regulations:

	Principal Buildings:	Requirement
A1x2	Minimum Lot Area	6,000 or 3,000 square feet*
	Maximum Impervious Surface Ratio	60 percent
A1	Minimum Lot Width	70 or 35 feet*
A2	Minimum Lot Depth	100 feet
B	Minimum Lot Frontage at Right-of-Way	30 feet
C	Minimum Front Setback	20 feet
E	Minimum Porch Setback (front and street side yard)	6 feet
F	Minimum Street Side Setback (on corner lots)	20 feet
G	Minimum Side Setback	5 or 0 feet for shared wall*
H	Minimum Rear Setback	2-4 feet**
	Maximum Principal Building Height	35 feet
J	Minimum Pavement Setback (lot line to pavement, excludes driveway entrances)	5 feet on side and rear yards 10 feet from any street right-of-way
	Minimum Dwelling Unit Structure Area	Per the Building Code
	Accessory Buildings:	Requirement
K	Minimum Front Setback	Even with or behind the principal structure
L	Minimum Side Setback	2 feet
M	Minimum Side Setback (on corner)	Even with or behind the principal structure
N	Minimum Rear Setback	2 feet
	Maximum Height	22 feet

**When two attached units are located on a single parcel, the minimum lot size is 6,000 sq. ft. and the minimum lot width is 70 feet. When two attached units are located on individual parcels, the minimum lot size is 3,000 sq. ft., the minimum lot width is 35 feet, and the side setback for the shared wall is 0 feet.*

***Note: All lots in this Zoning District must be designed to be alley-loaded with attached garages. Attached garages are encouraged to be close to the alley to avoid parking of vehicles in alley drive.*

Note: Platting and rezoning of zero-lot line housing is typically done in conjunction with a planned unit development and development agreement.



District E: Alley-Loaded Townhome Zoning District

Purpose Statement: This district intended to create, preserve, and enhance areas for townhomes oriented to the street, at approximate gross densities up to 12 dwelling units per acre. This district is designed for alley-loaded homes on individual lots.

Density, Intensity, and Bulk Regulations:

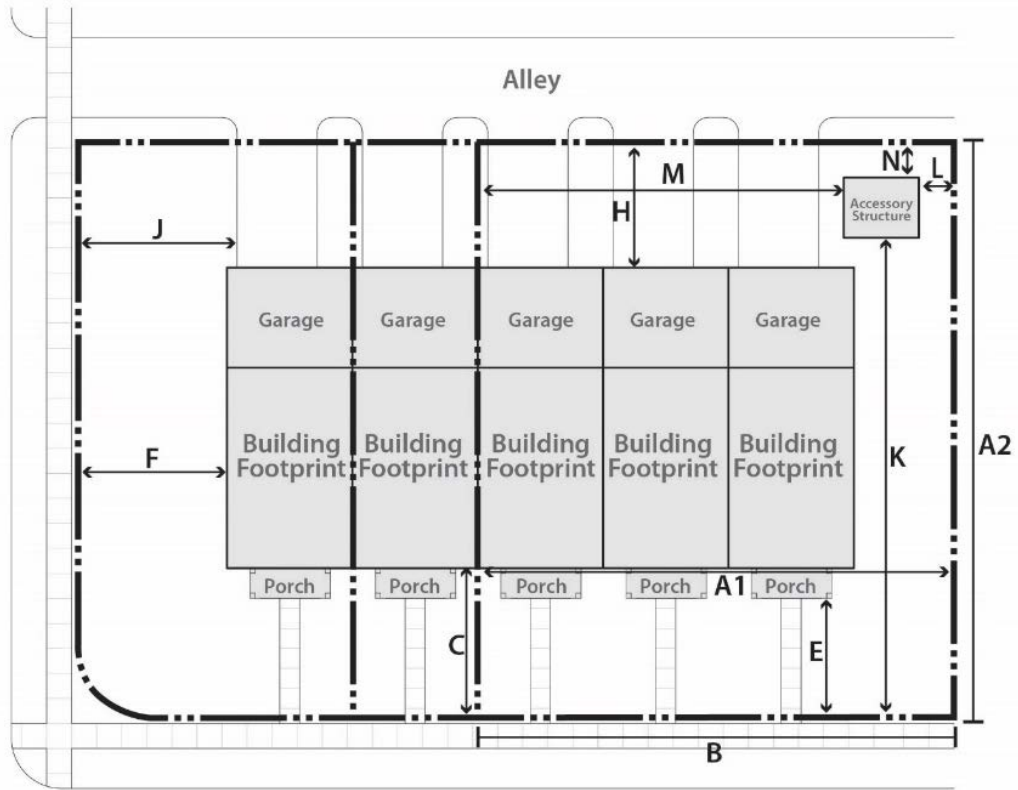
	Principal Buildings:	Requirement
A1xA2	Minimum Lot Area	3,000 square feet
	Maximum Impervious Surface Ratio	90 percent
A1	Minimum Lot Width	22 feet
		32 feet for corner lots
A2	Minimum Lot Depth	95 feet
B	Minimum Lot Frontage at Right-of-Way	30 feet
C	Front Setback	Minimum: 16 feet Maximum: 20 feet
E	Minimum Porch Setback (front and street side yard)	6 feet
F	Minimum Street Side Setback (on corner lots)	15 feet
G	Minimum Side Setback	5 feet for exterior side 0 feet for interior side with shared wall
H	Minimum Rear Setback	2-4 feet*
	Maximum Principal Building Height	35-40 feet
J	Minimum Pavement Setback (lot line to pavement, excludes driveway entrances)	5 feet on side and rear yards 10 feet from any street right-of-way
	Minimum Dwelling Unit Structure Area	Per the Building Code
	Accessory Buildings:	Requirement
K	Minimum Front Setback	Even with or behind the principal structure
L	Minimum Side Setback	2 feet
M	Minimum Side Setback (on corner)	Even with or behind the principal structure
N	Minimum Rear Setback	2 feet
	Maximum Height	22 feet

**Note: All lots in this Zoning District must be designed to be alley-loaded with attached garages. Attached garages are encouraged to be close to the alley to avoid parking of vehicles in alley drive.*

Note: Platting and rezoning of zero-lot line housing is typically done in conjunction with a planned unit development and development agreement.



District E Setback Diagram (not to scale)



District F: Multi-Family Zoning District (up to 12 units)

Purpose Statement: This district is intended to create, preserve, and enhance areas for multi-family uses in small buildings such as multiplexes or apartments at low densities, up to approximate gross densities of 8 dwelling units per acre.

Density, Intensity, and Bulk Regulations:

	Principal Buildings:	Requirement
A1xA2	Minimum Lot Area	10,000 square feet lot
	Maximum Impervious Surface Ratio	70 percent
A1	Minimum Lot Width	80 feet
A2	Minimum Lot Depth	120 feet
B	Minimum Lot Frontage at Right-of-Way	30 feet
C	Minimum Front Setback	20 feet
D	Minimum Front-Loaded Attached Garage Setback	Even with the plane of the principal structure wall
E	Minimum Porch Setback (front and street side yard)	8 feet
F	Minimum Street Side Setback (on corner lots)	20 feet
J	Minimum Side Setback	8 feet
H	Minimum Rear Setback	20 feet
	Maximum Principal Building Height	40 feet or 3 stories
J	Minimum Pavement Setback (lot line to pavement, excludes driveway entrances)	5 feet on side and rear yards 10 feet from any street right-of-way
	Minimum Dwelling Unit Structure Area	Per the Building Code
	Accessory Buildings:	Requirement
K	Minimum Front Setback	Even with or behind the principal structure
L	Minimum Side Setback	2 feet
M	Minimum Side Setback (on corner)	Even with or behind the principal structure
N	Minimum Rear Setback	2 feet
	Maximum Height	22 feet

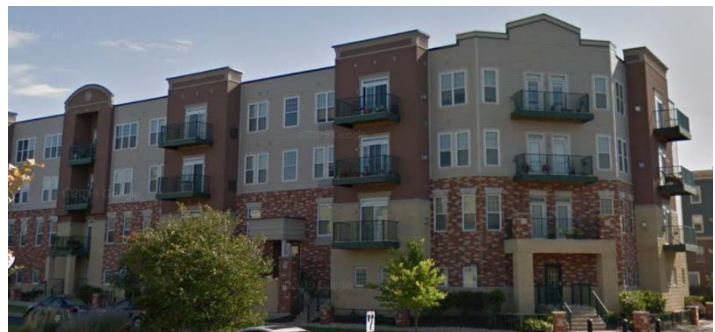


District G: Multi-Family Zoning District (up to 50 units)

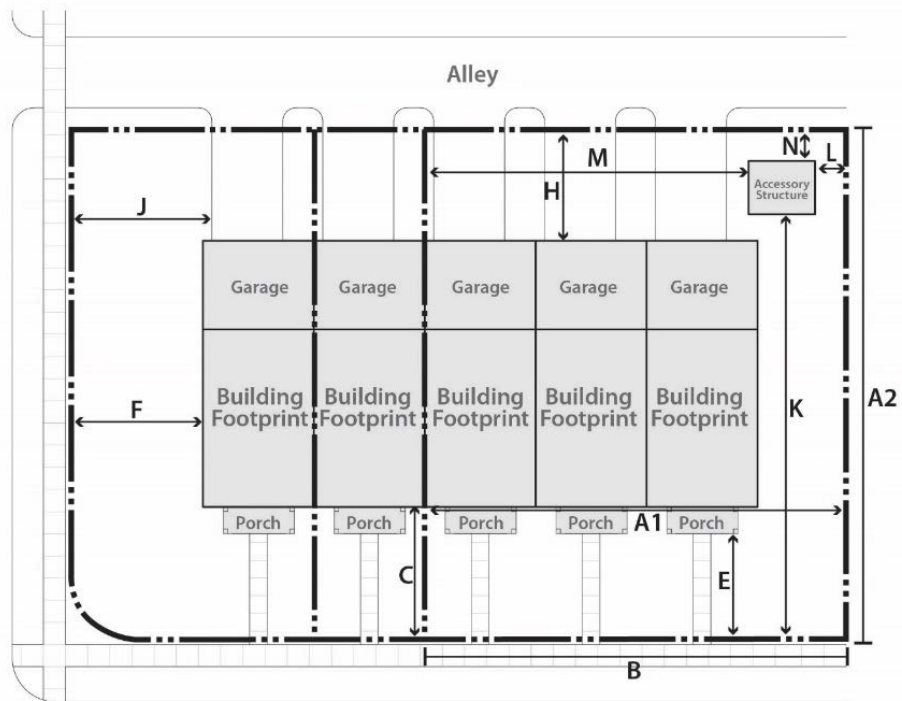
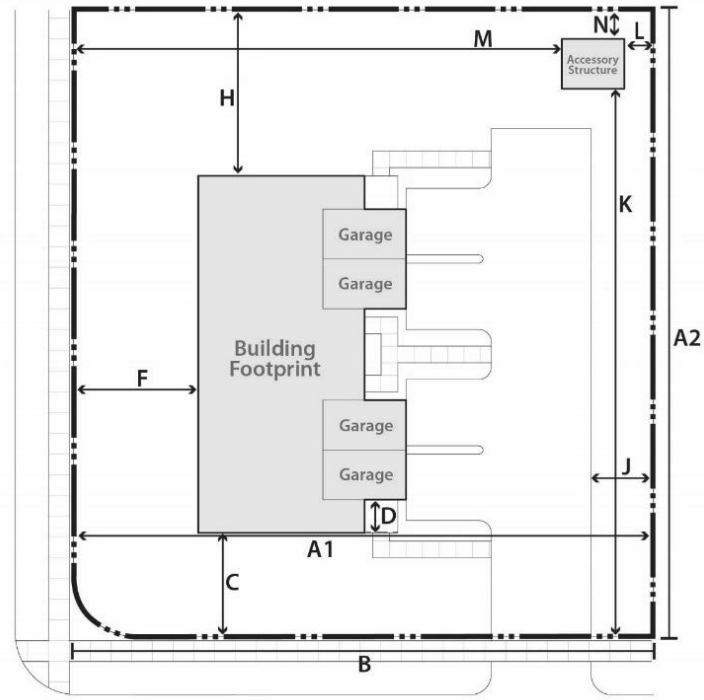
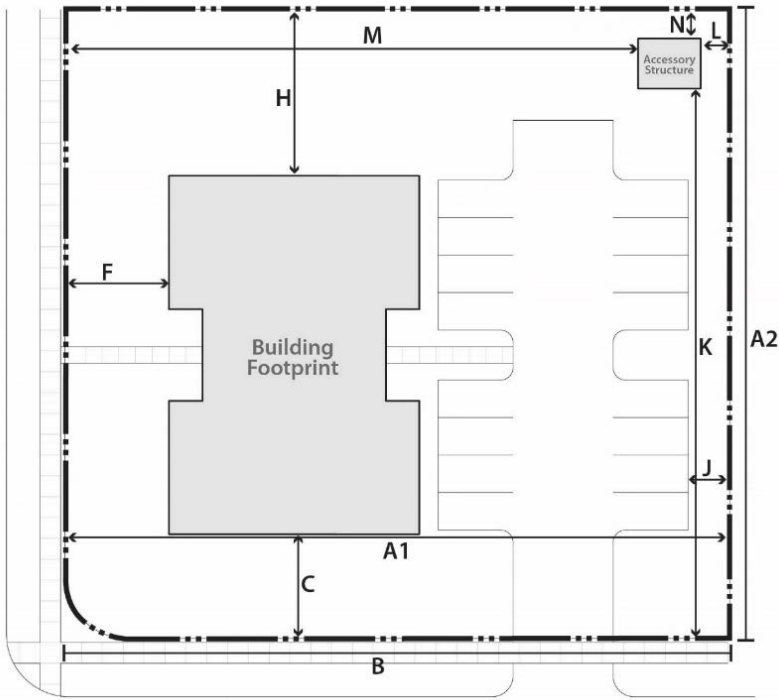
Purpose Statement: This district is intended to create, preserve, and enhance areas for multi-family uses in small and mid-sized buildings such as townhomes, multiplexes, or apartments at medium densities, up to approximate gross densities of 20 dwelling units per acre.

Density, Intensity, and Bulk Regulations:

	Principal Buildings:	Requirement
A1xA2	Minimum Lot Area	15,000 square feet lot
	Maximum Impervious Surface Ratio	75 percent
A1	Minimum Lot Width	100 feet
A2	Minimum Lot Depth	120 feet
B	Minimum Lot Frontage at Right-of-Way	50 feet
C	Minimum Front Setback	20 feet
D	Minimum Front-Loaded Attached Garage Setback	Even with the plane of the principal structure wall
E	Minimum Porch Setback (front and street side yard)	8 feet
F	Minimum Street Side Setback (on corner lots)	20 feet
J	Minimum Side Setback	8 feet
H	Minimum Rear Setback	30 feet
	Maximum Principal Building Height	40 feet or 3 stories
J	Minimum Pavement Setback (lot line to pavement, excludes driveway entrances)	5 feet on side and rear yards 10 feet from any street right-of-way
	Minimum Dwelling Unit Structure Area	Per the Building Code
	Accessory Buildings:	Requirement
K	Minimum Front Setback	Even with or behind the principal structure
L	Minimum Side Setback	2 feet
M	Minimum Side Setback (on corner)	Even with or behind the principal structure
N	Minimum Rear Setback	2 feet
	Maximum Height	22 feet



Districts E, F, and G Setback Diagrams (not to scale)



Recommended Permitted Land Uses by Zoning District

		Zoning Districts						
		A: Small Lot Alley-Loaded Single Family	B: Small Lot Front or Alley-Loaded Single Family	C: Front-Loaded Duplex/Twin Home	D: Alley-Loaded Duplex/Twin Home	E: Alley-Loaded Town-home	F: Multi-Family (up to 12 units)	G: Multi-Family (up to 50 units)
Land Uses (See Section 6)	Single family	✓	✓	✓				
	Two-Flats		Optional					
	Duplex			✓	✓		✓	✓
	Twin Home			✓	✓		✓	✓
	Townhome					✓	✓	✓
	Multiplex						✓	✓
	Apartments						✓	✓
	Nonresidential							
	Accessory Dwelling Units		✓	✓	✓			

Section 3: Incorporating Residential into Developed Areas

This section is oriented to infill and redevelopment sites that may be suitable for new housing. As every community's zoning districts will differ greatly, the recommended approach for enabling residential into already-developed parts of the community is to conduct a review of existing districts and incorporate mixed use buildings and freestanding residential as permitted uses into existing zoning districts.

Incorporating Mixed Use Development

In many communities, commercial zoning districts either do not allow any type of residential land use, or they significantly restrict residential land uses. The following list of "mixed use" buildings could be added to as permitted land uses within existing commercial zoning districts to enable residential opportunities throughout the community – including along commercial corridors or in established downtown and village centers. Standalone residential developments are best accomplished by rezoning, using one or more of the model residential zoning districts provided above.



- (1) **Multi-Family with Limited Commercial:** A mixed use building which contains residential and one or more principal nonresidential land uses on the ground floor.
 - (a) The principal nonresidential use shall be limited to the ground floor of the building and shall consist of a minimum of 33 percent of the gross floor area of the ground floor. This includes a shared lobby or entryway space for residential and nonresidential uses. On-site vehicle parking and access may not exceed 25 percent of the gross floor area of the ground floor. This includes vehicle parking and access for both residential and nonresidential uses.
- (2) **Mixed Use Building:** A building containing a mix of principal nonresidential land uses and principal residential land uses.
 - (a) The principal nonresidential use shall consist of a minimum of 50 percent of the gross floor area of the ground floor. This includes a shared lobby or entryway space for residential and nonresidential uses. On-site vehicle parking or access shall comprise no more than 25 percent of any portion of the ground floor area that faces a right-of-way. This includes vehicle parking and access for both residential and nonresidential uses
- (3) **Live/Work Building:** A multi-unit building, typically arranged in a townhouse format, in which each unit contains a commercial use on the ground floor with a residential use on upper floors, with both uses occupied by the same resident/business operator. The commercial use is typically interconnected to the residential use with an internal stair or elevator.
 - (a) The live/work building shall be the primary dwelling of the occupant.



- (b) The nonresidential component of the live/work building is limited to the following land uses, but only if such uses are also permitted by right or by conditional use permit in the applicable zoning district:
 - 1. Office
 - 2. Service and Sales
 - 3. Artisan Production Shop
- (c) Employees who are not residents of the unit are permitted.
- (d) The residential and the commercial space shall be occupied by the same tenant, and no portion of the live/work building shall be rented or sold separately.

Incorporating Standalone Residential Uses

Communities should conduct a review of their existing zoning districts – particularly commercial and downtown-oriented districts – and consider adding standalone multi-family land uses as permitted uses. Standalone refers to the entire property/building being used for single land use type, rather than a mix of land use types. Alternatively, if the community wishes to have finer degree of control over where multi-family uses are located, communities could amend their zoning map to apply one or more of the residential zoning districts in Section 2 to specific sites that have been identified for residential use. Use of these zoning districts should be consistent with surrounding development, good planning practices, and the community’s Comprehensive Plan.

Section 4: Model Residential Parking Requirements

Minimum parking requirements, often established many decades ago, greatly influence the cost of construction, as well as the look, feel, and character of the development. One method of reducing development costs and enhancing the livability of the built environment is by reducing *minimum* parking requirements and/or establishing *maximum* parking requirements. Maximum parking requirements ensure a more efficient site plan and reduces the amount of excess paving. Many communities across the country have removed minimum parking requirements altogether, leaving it up to the developer/property owner to determine their own parking needs. Below are model residential parking requirements by land use types that are defined in Section 7.

Land Use Type	Minimum Number of Parking Spaces	Maximum Number of Parking Spaces
Single Family Dwelling Unit	1 per dwelling unit	4 per dwelling unit
Duplex, Twin Home, or Two Flat	1 per dwelling unit	4 per dwelling unit
Townhome	1 per dwelling unit	2.5 per dwelling unit
Multiplex or Apartment	1 per dwelling unit	2.5 per dwelling unit
Apartments with Limited Commercial	50% reduction from minimum parking required for all land uses	Maximum parking for all land uses
Mixed Use Buildings	50% reduction of minimum parking required for all land uses	Maximum parking for all land uses
Live/Work Buildings	50% reduction of minimum parking required for all land uses	Maximum parking for all land uses

Section 5: Model Accessory Dwelling Unit Text

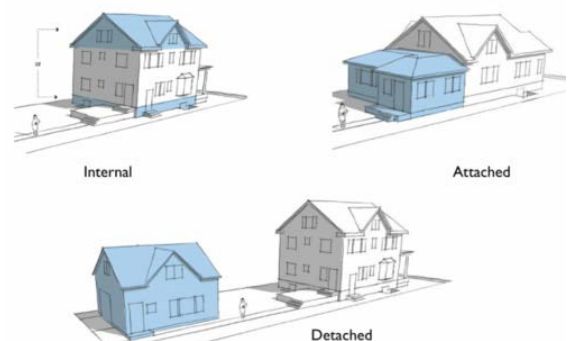
Adding Accessory Dwelling Units (ADUs) as permitted uses is another method for enabling diverse residential development. ADUs can be rental or owner-occupied and enable new housing units within both new and established neighborhoods. Below is a model accessory dwelling unit land use description.

If the community wishes to allow accessory dwelling units above detached garages, they may wish to increase the maximum height of detached accessory structures from 22 feet (which is recommended in the model districts in section 2) to 24 feet.

Accessory Dwelling Unit: Residential dwellings located directly above the ground floor of a building used for an office, commercial, or institutional land use, or a located on the same lot as a single family dwelling unit, either in the same building as the single family dwelling unit or in a detached building.

- (1) The number of occupants of the Accessory Dwelling Unit shall not exceed one family, plus one roomer or two unrelated individuals.
- (2) Additional entrances shall not be added to the front elevation of an existing building but may be added to side or rear or street side elevations.
- (3) Accessory Dwelling Units shall adhere to the principal setback requirements and standards for the underlying zoning district.
- (4) Accessory Dwelling Unit entryways within a rear or side yard shall be connected to a street frontage by a paved walkway or driveway.
- (5) For Accessory Dwelling Units located on the same lot as a single family dwelling unit, the following additional regulations shall apply:
 - (a) The principal building or Accessory Dwelling Unit must be occupied by the owner of the property. The Accessory Dwelling Unit may be owned separately from the principal dwelling.
 - (b) The maximum size of an Accessory Dwelling Unit shall not exceed 75 percent of the principal dwelling's floor area, up to a maximum size of 800 square feet.
 - (c) The appearance or character of the principal building must not be significantly altered so that its appearance is no longer that of a single family dwelling.
 - (d) The exterior finish material must match in type, size and placement, the exterior finish material of the principal dwelling unit. The roof pitch must match the predominant roof pitch of the principal dwelling unit or structure. Exterior trim must match the trim used on the principal dwelling unit. Projecting eaves must match those of the principal dwelling unit or structure. Windows must match those in the principal dwelling unit in both proportion (relationship of width to height) and orientation (horizontal or vertical).
 - (e) Minimum required parking: One space, or none if there is on street parking available within the right-of-way directly adjacent to the property line. If there is no on street parking available, minimum and maximum parking requirements of residential land uses apply.

What is an ADU?



Source: Housing Wiki

Section 6: Guidelines for Residential Design Standards

Many communities lack residential design standards that promote and provide high-quality, long-lasting development. It is recommended that each community review its design standards, particularly minimum standards for garages, dwelling unit sizes, etc. to ensure that unnecessary barriers to new residential development are eliminated, but high-quality design is required. The following model design standards are provided for consideration.

Standard Type	Description and Model Ordinance Language
Front-Loaded Garage Setback (All)	Minimum front-loaded garage setbacks.
	<ul style="list-style-type: none"> • Front-loaded garages must be a minimum of 2 feet behind the front-facing plane of the principal structure. • Front-loaded garages must be a minimum of even with the front-facing plane of the principal structure.
Garages (All)	Minimum architectural standards for garages, regardless of format.
	<ul style="list-style-type: none"> • Garages must be architecturally compatible and complementary to the design of the dwelling unit, including its color and style. Variation in regard to roof shape and slope and the use of materials is allowed.
Front Porch Setback (All)	Maximum front porch setbacks.
	<ul style="list-style-type: none"> • Front porches may extend an additional 6-12 feet toward the street than the established front yard setback for principal buildings and front-loaded garages for each zoning district.
Garage Width on Front Façade (All)	Maximum front-loaded garage width on front façade.
	<ul style="list-style-type: none"> • Front-loaded, attached garages shall comprise no more than 50 percent of the width of the ground floor building façade facing a street. No minimum width required.
Building Orientation (All)	Minimum building orientation standards.
	<ul style="list-style-type: none"> • A new principal structure, front façade, and primary entrance shall be oriented to the primary street. • On corner lots, the principal structure may be oriented to the side street provided it meets the requirements for facades and façade articulation (below). • Front entrances shall be identified by a stoop, entrance platform, or porch. Full front or wraparound porches that incorporate the front entrance are also permitted. • (Multi-Family Only) Exterior entry doors for individual units shall be residential in style and shall include frames and panels (real or decorative). • (Multi-Family Only) Exterior entry doors for multiple units may be residential (see above) or commercial in style (glass). • (Multi-Family Only) Ground-level patios and decks facing the street shall be covered or bordered with landscaping treatment. • (Multi-Family Only) Upper-story decks and balconies shall be cantilevered, supported by vertical columns, or supported from above.

	<ul style="list-style-type: none"> • (Multi-Family Only) The primary building entry shall be oriented toward the street and shall not be only oriented toward the off-street parking area.
Façades and Façade Articulation (all)	Minimum façade and façade articulation provided.
	<ul style="list-style-type: none"> • The architectural features, materials, and the articulation of a facade of a building shall be continued on all sides visible from a public street. • Porches, pent roofs, roof overhangs, hooded front doors or other similar architectural elements shall define the front entrance to all residences. • (Multi-Family Only) Façade length shall not be greater than 40 feet without articulation such as: <ul style="list-style-type: none"> • Recesses or projections that step back or project a portion of the main façade plane. • Recesses or projections of upper floors from the ground floor façade plane. • Vertical division using different textures or materials. • Division of the façade into individual units through the use of windows, entrances, arcades, porches, decks, balconies, lighting, etc. • Roof form variation such as the inclusion of dormers, change in roof lines, or change in roof type.
Exterior Building Materials (Multi-Family)	Minimum exterior building materials provided.
	<ul style="list-style-type: none"> • Buildings shall be clad in the following materials: <ul style="list-style-type: none"> • Brick, brick veneer, stone, stone veneer, or glass. • Split face or decorative block, and stucco. • Architectural and decorative metal panels, EIFS, residential aluminum siding, and siding made of wood, wood composite, vinyl, or fiber cement.
Building Façade Stepback (Multi-Family)	Minimum front façade stepback.
	<ul style="list-style-type: none"> • Any building exceeding 3 stories must provide a minimum 15-foot stepback from any street-facing façades after the third story.
Exterior Stairs and Corridors (Multi-Family)	Minimum exterior stair and corridor design.
	<ul style="list-style-type: none"> • Exterior stairs leading to a deck or balcony are not permitted on the front or street side of the building. • Exterior corridors shall be covered by the building roof, shall be located within the footprint of the building foundation, and shall be visible from the street.
Screening of Mechanicals (Multi-Family)	Minimum mechanical screening.
	<ul style="list-style-type: none"> • Roof-mounted equipment shall be screened, preferably by parapet walls. Other acceptable screening types shall be: <ul style="list-style-type: none"> • Architecturally compatible with the primary structure to which the equipment is attached. Screening materials shall be identical to or substantially similar to the materials used on the building façade to which the equipment is attached.

	<ul style="list-style-type: none"> • Consistent with the color of the structure to which the equipment is attached. • Designed to be an integral part of the building’s architectural design and give the impression that it is something other than a mechanical screen.
Exterior Lighting (Multi-Family)	<p>Minimum exterior lighting design.</p> <ul style="list-style-type: none"> • In no instance shall an exterior lighting fixture be oriented so that the lighting element (or a clear shield) is visible from an adjacent property or right-of-way. The use of shielded luminaries and careful fixture placement is encouraged so as to facilitate compliance with this requirement. • In no instance shall the amount of illumination attributable to exterior lighting, as measured at the property line, exceed 0.5 foot-candles above ambient lighting conditions on a cloudless night; and shall not exceed a total of 10,000 lumens per acre. • The maximum average on-site lighting shall be 1.0 foot-candles. • Outdoor lighting shall be full cut-off fixture and downward facing and no direct light shall transmit onto adjacent properties. • Maximum fixture mounting height shall be 12 feet.
Refuse Storage (Multi-Family)	<p>Minimum refuse storage design.</p> <ul style="list-style-type: none"> • All trash storage areas are recommended within the building, but if such use is located on the exterior of the building, trash storage areas shall be located within an enclosure at least 6 feet in height that completely screens the view of all trash and trash storage containers. The exterior of said enclosure shall be constructed of solid wood that matches or is complementary to the exterior of the principal building or be one or more of the materials used on the exterior of the main building. A solid gate shall be used to gain access to the storage area; said gate shall be constructed of an opaque material or interwoven slat fencing. • No exterior trash storage or dumpsters shall be located between a building and a public street.

Section 7: Model Definitions

Housing Unit Types

Single family dwelling unit: A dwelling unit type that consists of a fully detached single family residence which is located on an individual lot. Single family dwelling units are designed for one family (see Family definition) and have no roof, wall, or floor in common with any other dwelling unit. A single family dwelling that contains an in-family suite is still considered a single family dwelling. A manufactured or modular home is considered a single family dwelling unit as permitted by the State of Wisconsin Uniform Dwelling Code (UDC) or has received a Federal Manufactured Housing Certificate label.

- **Manufactured home:** A one or two family home certified and labeled as a manufactured home under 42 USC 5401-5426 which when placed on the site is set on an enclosed foundation in accordance with §70.043(1) Wis. Stats. and subchapters III, IV, and V of chapter COMM 21, Wis. Adm. Code, or a comparable foundation as approved by the local Building Inspector, is installed according to manufacturer's instructions, is properly connected to utilities, has asphalt shingles and a gable or hip roof, has insulated glass windows, has vinyl, aluminum or other quality siding, and is a minimum of 22 feet wide.
- **Mobile home:** A type of single family dwelling unit suitable for year-round occupancy designed to be towed as a single unit or in sections, with or without a permanent foundation, with walls of rigid, un-collapsible construction, and with water supply, sewage disposal, and electrical convenience. A Mobile Home includes both a "mobile home" and a "manufactured home" as defined by Wisconsin Statutes. A Mobile Home does not include a "modular home" as defined by this Chapter. Any similar dwelling unit which has its own motor and/or remains on wheels shall be considered a recreational vehicle.
- **Modular home:** A dwelling unit meeting the Uniform Dwelling Code that is transported to the building site in sections, does not have a permanent chassis, and is permanently mounted on a permanent foundation. A modular home is regulated as a single family dwelling unit.

Two family residential: A building designed for two separate dwelling units in which one dwelling unit may have a roof, wall, or floor in common with another dwelling unit. For the purposes of this Chapter, Duplex, Twin House, and Two Flat dwellings are considered to be two family residential. A single family dwelling with an attached accessory dwelling unit is not a two family dwelling.

- **Duplex:** This dwelling unit type consists of two separate Single Family Dwelling Units, each having a private individual exterior entrance or private interior entrance from a shared foyer, and no shared internal access other than entry foyers and halls. Similar to Twin Houses, Duplexes are attached side-by-side units, each with a ground floor and roof. Unlike Twin Houses, the two dwelling units in a Duplex are located on one lot.
- **Twin Home or Twin House:** This dwelling unit type consists of two separate Single Family Dwelling Units, each having a private individual exterior entrance or private interior entrance from a shared foyer, and no shared internal access other than entry foyers and halls. Similar to Duplexes, Twin Houses are attached side-by-side units, each with a ground floor and roof. Unlike Duplexes, each dwelling unit in a Twin House is located on a separate lot.
- **Two Flat:** This dwelling unit type consists of a single structure with two separate Single Family Dwelling Units, each having a private individual exterior entrance or private interior entrance from a shared foyer, and no shared internal access other than entry foyers and halls. Two Flats are attached units within a single structure with one unit above the other.

Multi-family residential: A building or structure designed for three or more separate dwelling units in which one dwelling unit may have a roof, wall, or floor in common with another dwelling unit.

- **Townhouse:** This dwelling unit type consists of attached structure, each having a private, individual access. This dwelling unit type may be located on its own lot or a shared lot. Each dwelling unit shares at least one common wall with an adjacent dwelling unit.
- **Multiplex:** This dwelling unit type consists of three or more individual attached dwelling units which have private, individual exterior entrances.
- **Apartment:** This dwelling unit type consists of a single structure with three or more individual attached dwelling units which take access from a shared entrance or hallway.

Mixed use: Some combination of residential, commercial, industrial, office, institutional, and/or other land uses within a district or development.

Other Definitions

Buildable area: The area remaining on a lot after the minimum setback, drainage provisions, and other site constraint requirements of this ordinance have been met.

Buildable width: The width of the lot left to be built upon after the side yards are provided.

Buildable depth: The depth of the lot left to be built upon after the front and rear yards are provided

Building: A structure with a permanent location on the land, having a roof that may provide shelter, support, protection, or enclosure of persons, animals, or property of any kind.

Building coverage: The percentage of a lot covered by principal and accessory buildings or structures.

Building footprint: The outline of the total area covered by a building's perimeter at the ground level.

Building height: The vertical distance from the established grade to (a) the highest point of a flat roof; (b) the deck line of a mansard roof; (c) the average height between eaves and ridge for a gable, hip and gambrel roof; or (d) a point on the roof directly above the highest wall of a shed roof.

Building, principal: A building in which the main or principal use of the lot is conducted.

Bulk: The size and setbacks of buildings or structures and the location of same with respect to one another, and includes the following:

1. Size and height of buildings;
2. Location of the perimeter of the building at all levels in relation to lot lines, streets, or to other buildings;
3. Gross floor area of buildings in relation to lot area (floor area ratio or FAR);
4. All open spaces allocated to buildings;
5. Amount of lot area provided per dwelling unit

Dwelling: A building or one or more portions thereof, containing one or more dwelling units, but not including habitations provided in nonresidential uses such as lodging uses and commercial campgrounds.

Dwelling, attached: A dwelling joined to another dwelling at one or more sides by a shared wall or walls.

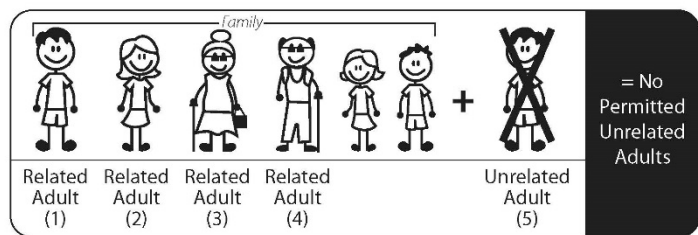
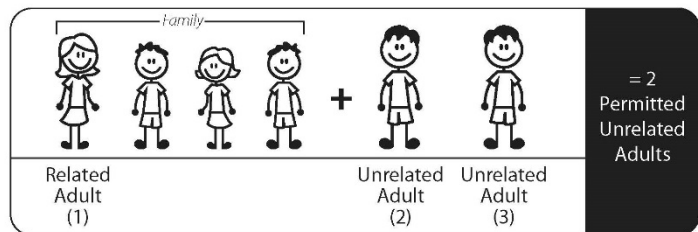
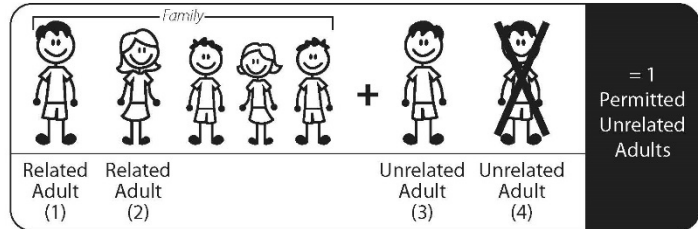
Dwelling, detached: A dwelling entirely surrounded by open space on the same lot.

Dwelling unit: A single unit providing complete, independent living facilities for one or more persons, including permanent provisions for living, sleeping, eating, cooking and sanitation.

Family: A person living as an individual or any of the following groups living together as a single nonprofit housekeeping unit and sharing common living, sleeping, cooking and eating facilities:

1. Any number of people related by blood, marriage, domestic partnership, legal adoption, guardianship or other duly-authorized custodial relationship;
2. Two (2) unrelated adult individuals and the minor children of each. For the purpose of this Section, “children” means natural children, grandchildren, legally adopted children, stepchildren, or a ward as determined in a legal guardianship proceeding;
3. Three (3) unrelated adult individuals;
4. Up to four (4) unrelated persons who have disabilities/are disabled or handicapped under the Fair Housing Amendment Act (FHAA) or the Americans with Disabilities Act (ADA), are living as a single household because of their disability, and require assistance from a caregiver.

Number of Unrelated Adults Permitted



- a. This definition does not include those persons currently illegally using or addicted to a “controlled substance” as defined in the Controlled Substances Act, 21 U.S.C. Section 802 (6).
5. Up to two (2) personal attendants who provide services for family members or roomers who are disabled or handicapped under the Fair Housing Amendment Act (FHAA) or the Americans with Disabilities Act (ADA) and need assistance with the activities of daily living shall be considered part of a family. Such services may include personal care, housekeeping, meal preparation, laundry or companionship.
6. Functional Family: A group of individuals living together in a single dwelling unit and functioning as the equivalent of a family, whether or not they are related by blood, marriage or other legal relationship. See definition of “functional family.”
7. Three (3) unrelated adult individuals. Family is any of 1.-5. above plus one (1) or two (2) unrelated adult individuals that brings the total number of adults to three (3).
8. Exceptions: The definition of “family” does not include:
 - a. Any society, club, fraternity/sorority, association, lodge, combine, commune, federation, or similar organization; and
 - b. Any group of individuals whose association is temporary or seasonal in nature.

Floor area: The sum of the gross horizontal areas of the floors of a building, including interior balconies, mezzanines, basements, and attached accessory buildings, stairs, escalators, unenclosed and enclosed porches, heating and utility rooms, etc. Measurements shall be made from the outside of the exterior walls and to the center of interior walls dividing attached buildings.

Floor area determining floor area ratio: For the purpose of determining the floor area ratio, the floor area of a building is the sum of the gross horizontal area of the several floors of the building measured from the exterior faces of the exterior walls or from the centerline of the walls separating two buildings. The floor area of a building includes basement floor area when more than one-half of the basement height is above the established curb level or above the finished lot grade where curb level has not been established, elevator shafts and stairwells at each floor, floor space used for mechanical equipment (except equipment, open or enclosed, located on the roof), penthouses, attic space having head room of seven feet ten inches or more, interior balconies and mezzanines, porches, and floor area devoted to accessory uses. However, any space devoted to off-street parking or loading is not included in floor area.

The floor area of structures devoted to bulk storage of materials, including, but not limited to, grain elevators and petroleum storage tanks, is determined on the basis of height in feet; i.e., ten feet in height shall equal one floor.

Floor area ratio (FAR): Floor area of the building or buildings on the zoning lot divided by the area of the zoning lot, or, in the case of planned developments, by the net site area. The floor area ratio requirements, as set forth under each zoning district, shall determine the maximum floor area allowable for the building or buildings (total floor area of both principal and accessory buildings) in direct ratio to the gross area of the zoning lot.

Gross density: The result of dividing the number of dwelling units located on a site by the gross site area (see maximum gross density).

Gross floor area: The total floor area inside the building envelope on all levels of a building.

Gross site area: The total area of a single lot or the sum of multiple lots in common use.

Impervious surface: Surfaces that prohibit infiltration of stormwater. Homes, buildings, and other structures with roofs, as well as concrete, brick, stone, asphalt, gravel, and similar paved surfaces are considered impervious.

Impervious surface ratio: A measure of the intensity of land use, determined by dividing the total of all impervious surfaces on a site by the gross site area.

Intensity: A term used to describe the amount of gross floor area or landscaped area on a lot or site compared to the gross site area.

Lot: A parcel of land in one ownership and not divided by a street nor including any land within the limits of a public right-of-way. The term "lot of record" shall mean land designated as a distinct and separate parcel on a legally recorded plat, subdivision, or other instrument permitted by law, in the Register of Deeds office.

Lot area: The computed area contained within the lot lines of a recorded lot, including land over which easements have been established.

Lot, corner: A lot abutting upon two or more streets at their intersection or upon two parts of the same street, such streets or parts of the same street forming an interior angle of less than 135 degrees. The point of intersection of the street lines or their greatest angle is the “corner.”

Lot depth: The mean horizontal distance between the front and rear lot lines.

Lot frontage: The horizontal distance between the side lot lines measured at the point where the side lot lines intersect the right-of-way. All sides of a lot that abuts a street shall be considered lot frontage. On curvilinear streets, the distance of the arc between the side lot lines shall be considered the lot frontage.

Lot, garage: A lot that does not contain a principal structure, which is located directly across the street or alley from a lot containing a principal residential structure. Typically, garage lots contain a garage or other accessory structure and are under the same ownership as the lot containing the principal residential structure.

Lot, interior: A lot other than a corner lot.

Lot line: A lot line is the legal property line (including the vertical plane established by the line and the ground) bounding a lot except that where any portion of a lot extends into the public right-of-way or a proposed public right-of-way, the line of such public right-of-way shall be the lot line for applying this Chapter.

Lot line, front: A lot line which abuts a public or private street right-of-way. In the case of a lot which has two or more street frontages, the lot line along the street with the shortest frontage distance shall be the front lot line. In the case of a lot which has two or more street frontages and the dimensions of each are within ten percent of being equal, the front lot line shall be the street line designed by the owner and filed in the office of the Zoning Administrator. (See also lot line, street side).

Lot line, rear: In the case of rectangular or most trapezoidal shaped lots, that lot line which is parallel to and most distant from the front lot line of the lot. In the case of an irregular, triangular, or gore-shaped lot, a line 20 feet in length, entirely within the lot, parallel to and at the maximum possible distance from the front line shall be considered to be the rear lot line. In the case of lots that have frontage on more than one road or street, the rear lot line shall be opposite the front lot line (shorter of the frontages).

Lot line, side: Any lot line other than a front or rear lot lines. A side lot line separating a lot from a street is called a side street lot line. A side lot line separating a lot from another lot is called an interior side lot line. An interior side lot line can be created with no side yard setback where a building envelope between two lots sharing a single structure is present. This is known as a zero lot line.

Lot line, street side: Any lot line which abuts a public or private street right-of-way which is not the front lot line (see also lot line, front).

Lot of record: A platted lot or lot described in a plat, certified survey map, in a metes and bounds description, or other instrument permitted by law and has been approved by the [city/village and county], and has been recorded in the office of the Register of Deeds.

Lot, through: A lot having frontage on two parallel or approximately parallel streets (also known as a “double-frontage lot”).

Lot width: The maximum horizontal distance between the side lot lines of a lot, measured parallel to the front lot line(s) at the required front yard setback (see minimum lot width).

Minimum landscape surface ratio: The lowest permitted landscape surface ratio (see landscape surface ratio).

Minimum lot area: The minimum size lot permitted within the specified zoning district.

Minimum lot width: The smallest permissible lot width for the applicable zoning district.

Minimum setback: The narrowest distance permitted from a street, side, or rear property line to a structure.

Net developable area: The area of a site which may be disturbed by development activity. Net developable area is the result of subtracting undevelopable area (comprised of surface water, wetlands, 100-year floodplains, floodways, drainageways, and steep slopes exceeding 12%) from the gross site area.

Parcel: Any area of land (lot or contiguous group of lots) in the City under single ownership as shown on the last assessor's roll of the county or the records of the City, whichever is the most recent.

Pavement Setback: The area between the nearest right-of-way or lot line and any impervious surfaces on the lot. This setback does not apply to driveways, driveway entrances, public sidewalks, or sidewalks perpendicular to the street right-of-way on private property.

Setback: The shortest distance between the exterior of a building or structure and the nearest point on the referenced lot line, excluding permitted projections.

Yard: An open space, other than a court, on a lot unoccupied and unobstructed from the ground upward except as otherwise provided in this Chapter.

Yard, front: A yard extending across the full width of the lot, the depth of which is the minimum horizontal distance between the front lot line and a line parallel thereto on the lot.

Yard, rear: A yard extending across the full width of the lot, the depth of which is the minimum distance between the rear lot line and a line parallel thereto on the lot.

Yard, side: A yard extending from the front yard to the rear yard, the width of which is the minimum horizontal distance between the side lot line and a line parallel thereto on the lot.

Yard, street side: For corner lots, the yard between the front and rear lot lines, extending from the street side lot line to the nearest part of the nearest building or structure.

Yard, transitional: That yard which must be provided along a zoning district boundary to provide for the required bufferyard on the more intensively zoned side of the lot line.